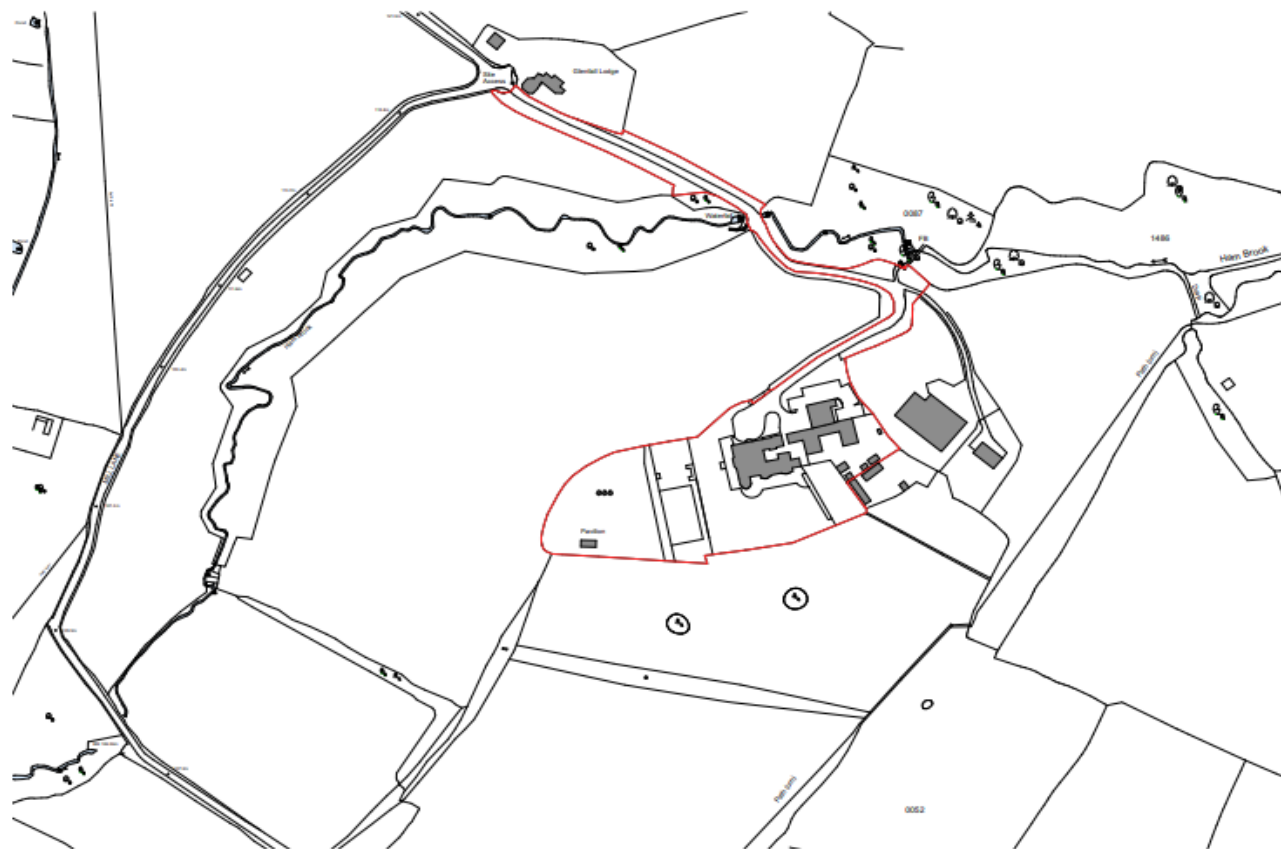


# 23/01424/FUL & LBC – Glenfall House

## Proposed Development

Part change of use of principal listed building from hotel/event venue to single dwelling (C3), including removal of extensions/alterations to principal building. Demolition of coach house, stables and 20th century buildings and extensions and replacement with new extension and outbuildings consisting of a leisure building with swimming pool, garage/store, greenhouse and 5no. new dwellings to be occupied as holiday accommodation. Alterations to historic landscaped grounds and kitchen garden.



**General Notes:**

1. This drawing is to be read in conjunction with other consultants drawings.
2. Check site conditions prior to commencement of work.
3. Discrepancies must be reported directly to the Architect.
4. Do not scale off drawing, use figured dimensions only unless for planning purposes.
5. This drawing may be issued in colour, and may be a non-standard paper size.

North Arrow

Key

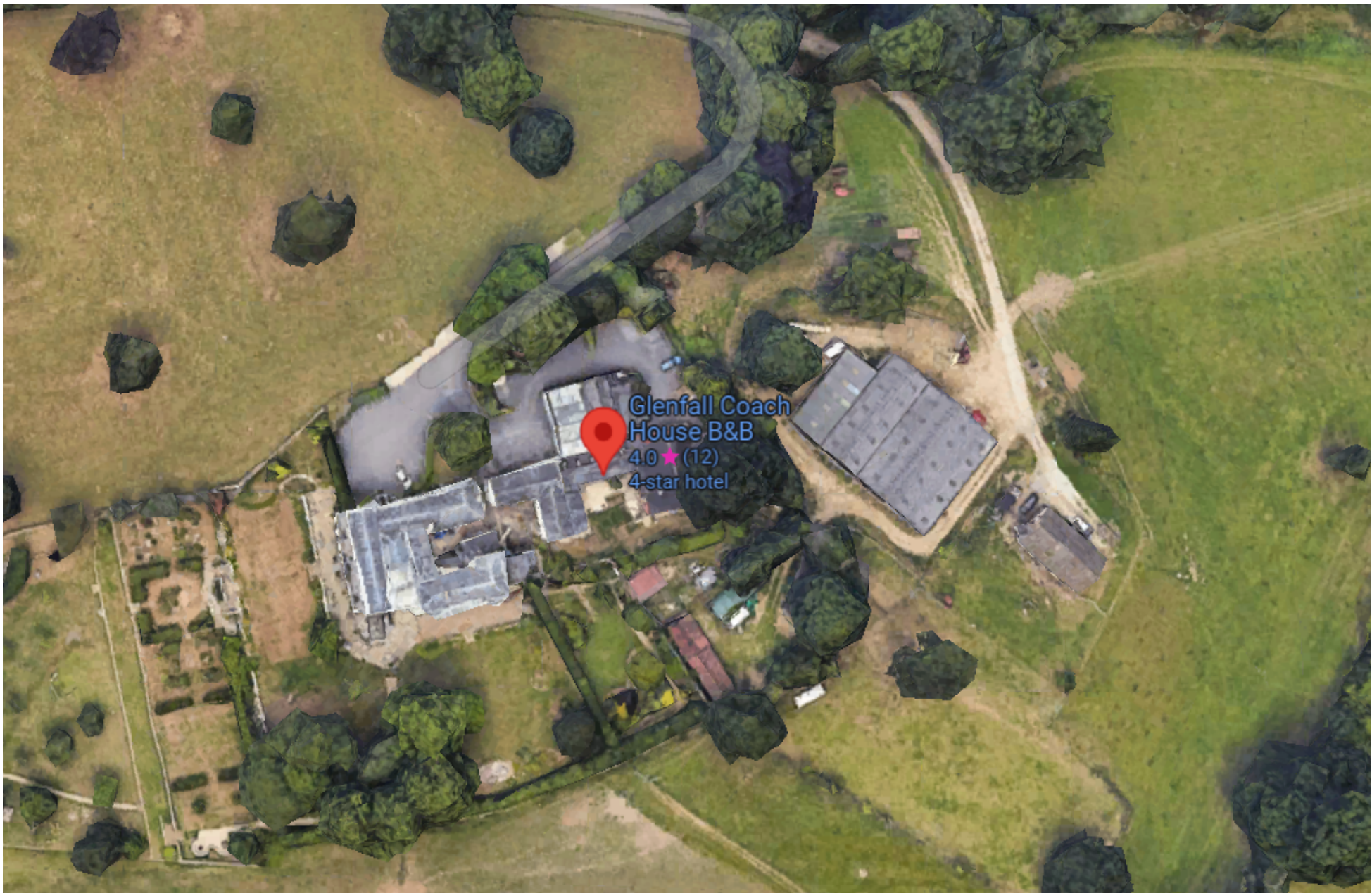
- Building Buildings to be retained
- Application area

Project Name	Planning Permit	City
Site Name	Notes	Drawn
Scale	1 : 1250 @ A1	
DA Number	051103	

**YIANGOU**  
 Registered Real Estate Estate Agents, Chartered Surveyors, and Valuers  
 100-102, Market Street, Singapore

Project Address	Woodfield House, Mill Lane, Chesham, Bucks HP8 4EP
Project Description	Proposed House Extensions and New Outbuildings
Drawing Title	Location Plan
Drawing No.	2682-2000
Rev.	A

Site Location Plan



Site Aerial





Site Photographs





Site Photographs





Site Photographs

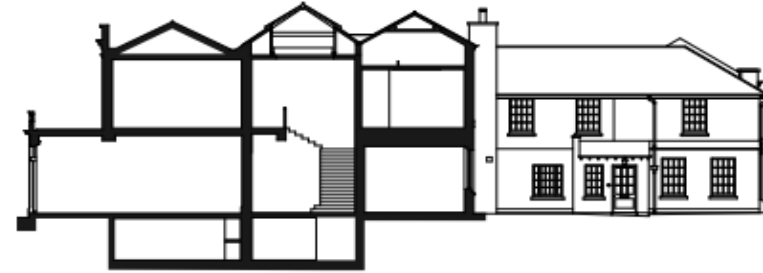


Existing Site Plan





North Elevation/ Section A-A



South Elevation/ Section



South Elevation/ Section C-C



East Elevation/ Section H-H

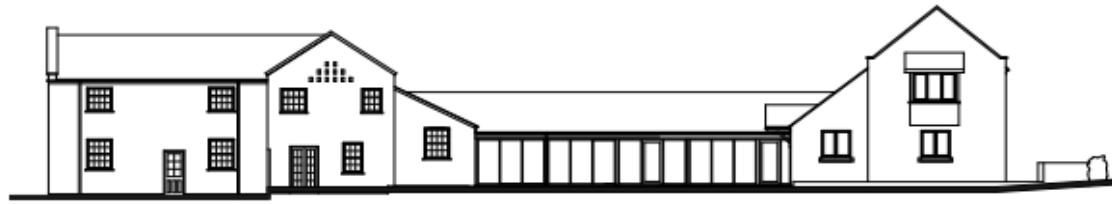


West Elevation/ Section E-E



North Elevation/ Section

### Existing Elevations – Principal Listed Building



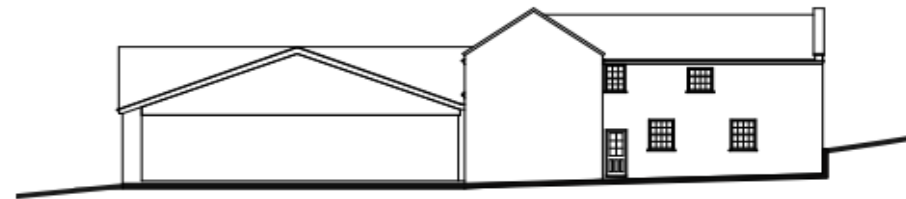
North Elevation/ Section C-C



North Elevation/ Section G-G

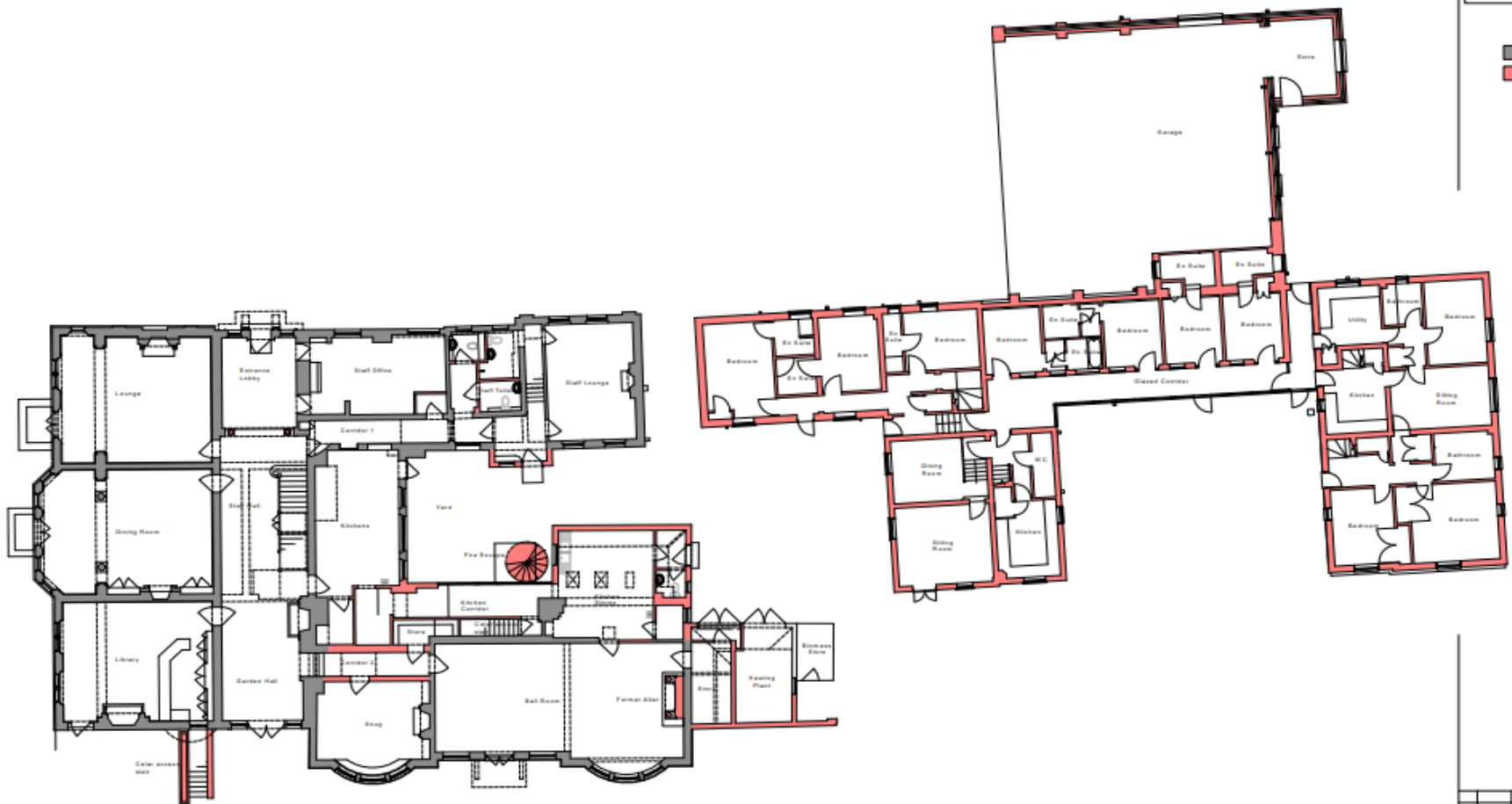


North Elevation/ Section A-A



North Elevation/ Section F-F

## Existing Elevations – Curtilage Listed Buildings



- General Notes:**
1. This drawing is to be read in conjunction with other consultants drawings.
  2. Check site conditions prior to commencement of work.
  3. Dimensions must be required directly to the Architect.
  4. Do not scale off drawings, use figured dimensions only unless for planning purposes.
  5. This drawing may be issued in colour, and may be a non-standard paper size.

Existing structures to be retained  
 Existing structures to be removed

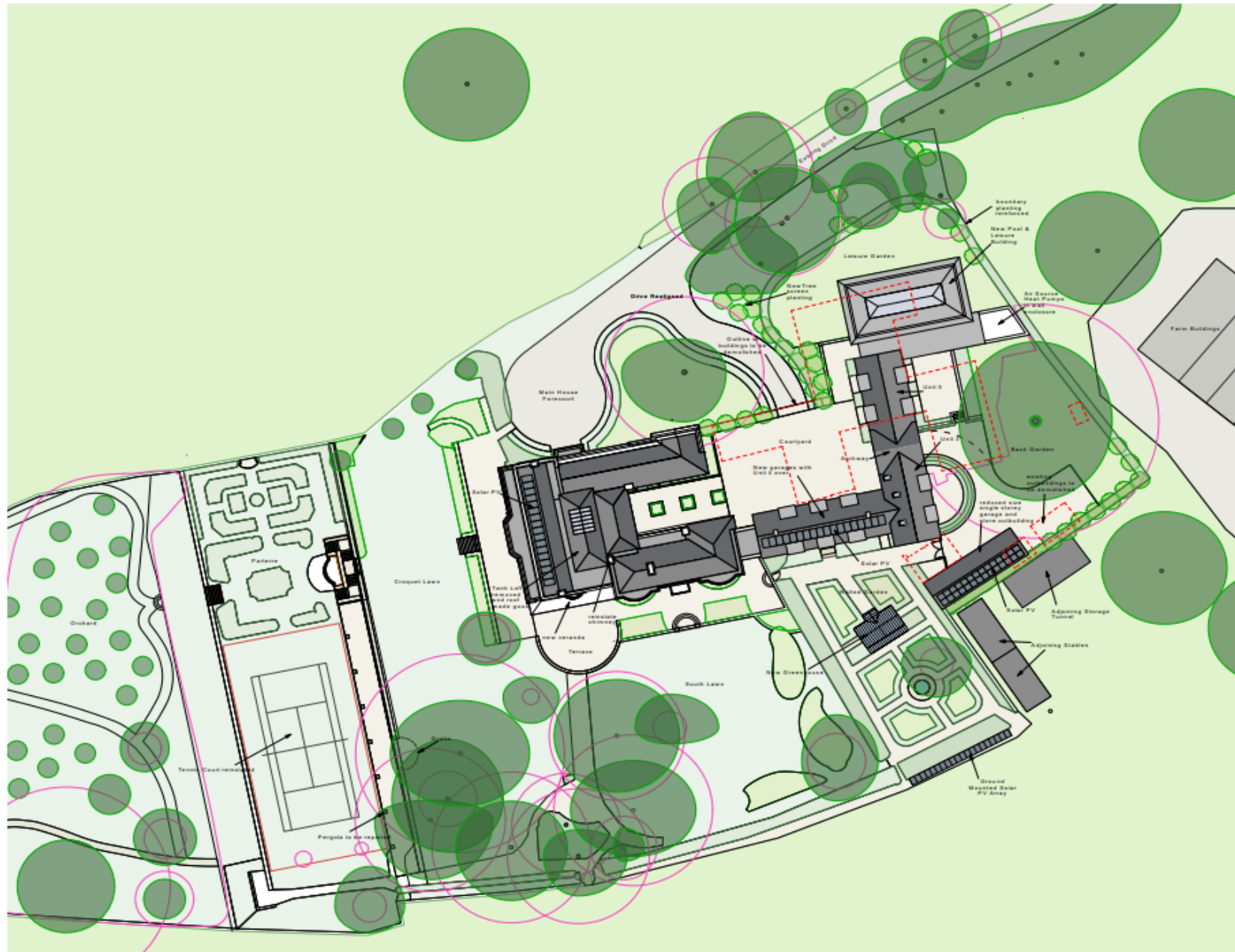
Project Name	Garfield House, Mill Lane, Cheltenham, Gloucestershire	Client	GC&P
Project Description	Proposed House Extensions and New Outbuildings	Drawn	
Drawing Title	Existing Ground Floor Plan	Date	05/10/20
Drawing No.	2002-2011	Scale	1:100 @ A1
YIANGOU Registered Architectural Firm 11, South Street, Gloucester, Gloucestershire, GL1 2LH T: +44 (0)1452 519999 F: +44 (0)1452 519998 E: info@yangou.com W: www.yangou.com		GB Serial Number 05100	

Existing Floor Plans – Ground Floor Main House





Existing Floor Plans – First Floor Main House



- General Notes:**
1. This drawing is to be read in conjunction with other construction drawings.
  2. Check site conditions prior to commencement of work.
  3. Discrepancies must be reported directly to the Architect.
  4. Do not scale off drawing, use figured dimensions only unless for planning purposes.
  5. This drawing may be located in colour, and may be a non-standard paper size.



A	2022/03/01	Revised Planning Draw	PL
B	2022/03/01	Revised Planning Draw	PL
C	2022/03/01	Architectural Contract	PL
Rev	Date	Notes	Drawn
Scale			
1:250 @ A1			
DL Survey Number: 192210			

**YIANGOU**  
 Registered Architectural Firm  
 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

Project Address	Central House, Mill Lane, Chesham, Bucks HP8 4PP
Project Description	Proposed House Alterations and New Outbuildings
Drawing Title	Proposed Site Plan
Drawing No.	2682-2195

Revised Proposed Site Plan



North Elevation/ Section A-A



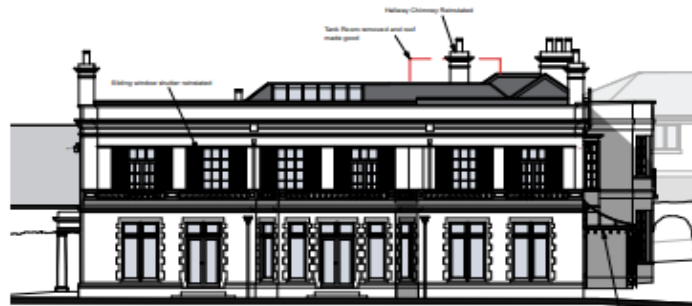
South Elevation/ Section J-J



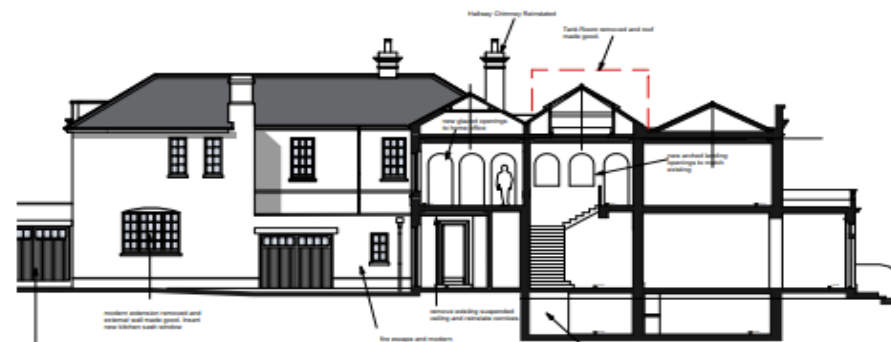
South Elevation/ Section C-C



East Elevation/ Section H-H



West Elevation/ Section E-E



North Elevation/ Section B-B

## Proposed Elevations – Main House





South Elevation/ Section C-C



North Elevation/ Section B-B

**General Notes:**

1. This drawing is to be read in conjunction with other consultant's drawings.
2. Check site conditions prior to commencement of work.
3. Discrepancies must be reported directly to the Architect.
4. Do not scale off drawings, use figured dimensions only unless for planning purposes.
5. This drawing may be issued in colour, and may be a non-standard paper size.

**Key Plan**

**Materials Key**

- ① Natural blue slate roof
- ② Red facing brick
- ③ Fluted edge brick cladding
- ④ Zinc-pact roof
- ⑤ Painted brick pavement/terraces and glazed screens
- ⑥ Vertically-louvered brick garage doors with ruffled brick above set with surrounds
- ⑦ Casement window with red brick reveals and lead roof
- ⑧ Red brick chimney with stone coping
- ⑨ Painted metal rainwater gullies and downpipes
- ⑩ Photovoltaic Solar Panels

10/11/2024	Revised Planning Issue	JK
10/11/2024	Revised Planning Issue	JK
10/11/2024	Design Update	JK
10/11/2024	Issue	JK

Scale: 1:100 @ A1

Client Name: 192207

**YIANGOU**  
Architects, Planners, Engineers, Interiors, Sustainability and BIM  
100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

Project Address	Central House, 381 Lane, Chesham, Bucks HP8
Project Description	Proposed House Extensions and New Outbuildings
Drawing Title	Proposed Outbuildings Elevation 1
Drawing No.	2020-2124
Rev.	01

## Proposed Elevations – Curtilage Outbuildings



West Elevation/ Section F-F



East Elevation/ Section G-G

**General Notes:**

1. This drawing is to be read in conjunction with other consultants drawings.
2. Check site conditions prior to commencement of work.
3. Discrepancies must be reported directly to the Architect.
4. Do not scale off drawing, use figured dimensions only, unless for planning purposes.
5. This drawing may be issued in colour, and may be a non-standard paper size.



**Materials Key:**

- ① Natural blue slate roof
- ② Red facing brick
- ③ Red facing brick to match Walled Garden
- ④ Zinc panel roof
- ⑤ Painted timber casement windows and glazed screens
- ⑥ Vertically boarded timber garage doors with rubber brick above central arch openings
- ⑦ Casement window openings with red brick reveals and lead roof
- ⑧ Red brick chimney with stone coping
- ⑨ Painted metal rainwater gutter and downpipes
- ⑩ Photovoltaic Solar Panels
- ⑪ Painted metal framed sliding glass doors

Author	Architect	Client
01/2020	02/2020	03/2020
Rev	Date	Drawn
1	1/20	01

Scale: 1:100 @ A1  
 0 5 10m

UK Grid Number: 102205

**YIANGOU**  
 YIANGOU ARCHITECTURE & INTERIORS LTD  
 100-102, Market Street, Chichester, West Sussex, PO19 1AB

Project Address	Sturford House, Mill Lane, Chichester, GU9 8PP
Project Description	Proposed House Extensions and New Outbuildings
Drawing Title	Proposed Outbuildings Elevation 2
Drawing No.	2022-2142

Proposed Extension and Outbuilding Elevations



East Elevation/ Section G-G



North Elevation/ Section A-A



West Elevation/ Section F-F

**General Notes:**

1. This drawing is to be read in conjunction with other consultants drawings.
2. Check site conditions prior to commencement of work.
3. Discrepancies must be reported directly to the Architect.
4. Do not scale off drawing, use figured dimensions only unless for planning purposes.
5. This drawing may be issued in colour, and may be a non-standard paper size.



- Materials Key:**
- ① Natural blue slate roof
  - ② Red facing brick
  - ③ Red facing brick to match existing building
  - ④ Clay-paved roof
  - ⑤ Painted carbon cement windows and glass systems
  - ⑥ Horizontally boarded timber garage doors with red brick frame (stone lintels with stone arch)
  - ⑦ Cement concrete window with red brick reveals and lead roof
  - ⑧ Red brick chimney with stone coping
  - ⑨ Painted metal rainwater gullies and downpipes
  - ⑩ Photovoltaic Solar Panels
  - ⑪ Painted metal framed sliding glass doors

D	2023/02/01	Revised Planning Note	AK
C	2023/01/10	Design Update	AK
B	2022/12/01	Contract Design	AK
A	2022/11/01	Design	AK

Scale: 1:100 @ A1

**YIANGOU**  
 100% Satisfaction Guarantee  
 Project Address: 202001 Waverly, MI Lane, Chesham, OX26 6PP  
 Project Description: Proposed Pool Extensions and New Outbuildings  
 Drawing Title: Proposed Leisure Building Elevations  
 Drawing No: 2022-2125

# Proposed Extension Elevations – Leisure/Swimming Pool Building

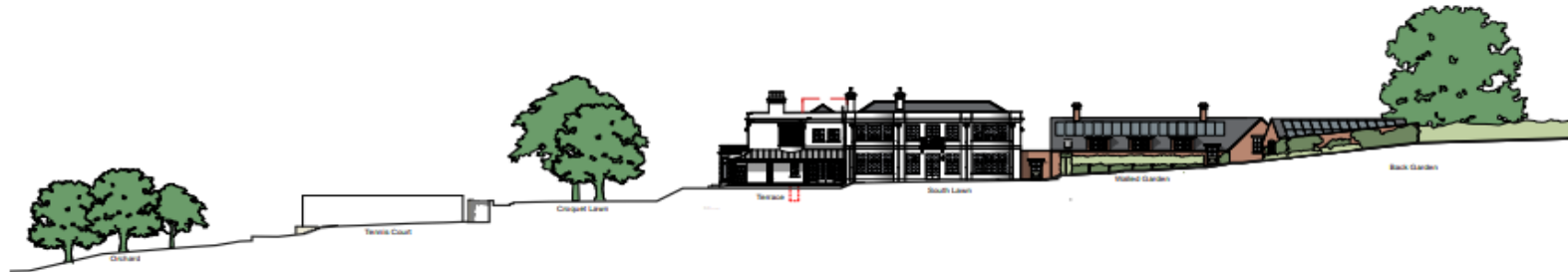




North Elevation/ Section A-A



North Elevation/ Section B-B



South Elevation/ Section C-C

**General Notes:**

1. This drawing is to be read in conjunction with other consultative drawings.
2. Check site conditions prior to commencement of work.
3. Discrepancies must be reported directly to the Architect.
4. Do not scale off drawing, use figured dimensions only, unless for planning purposes.
5. This drawing may be issued in colour, and may be a non-standard paper size.



1/1/2024	Prepared Planning Notes	AL
1/1/2024	Design Consultant	AL
1/1/2024	Architect Design	AL
1/1/2024	Architect Design	AL

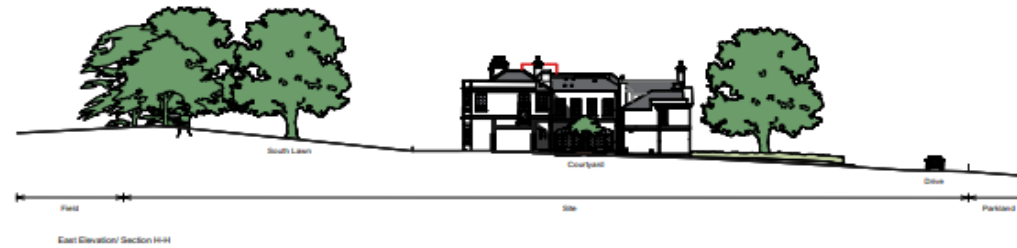
Scale: 1:250 @A1

000000000 1000000

**YIANGOU**

Project Address:	Garfield House, 882 Lane, Cheltenham, GL50 2PP
Project Description:	Prepared Planning, Alterations and New Construction
Drawing Title:	Prepared Site Elevation 1
Drawing No:	2682-2126

## Proposed Site Elevations



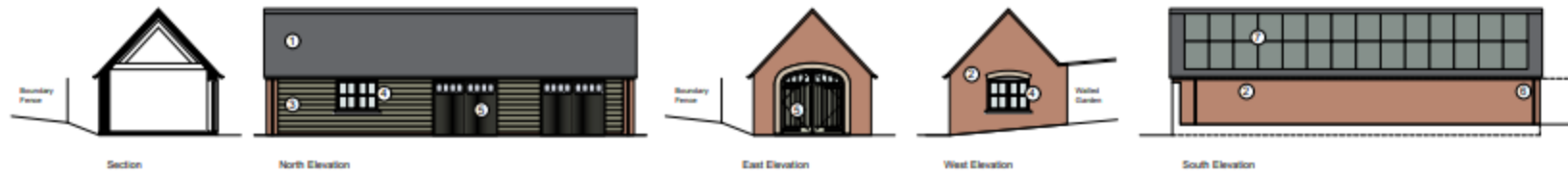
**General Notes:**

1. This drawing is to be read in conjunction with other consultant drawings.
2. Check site conditions prior to commencement of work.
3. Discrepancies must be reported directly to the architect.
4. Do not scale off drawing, use figured dimensions only unless for planning purposes.
5. This drawing may be issued in colour, and may be a non-standard paper size.



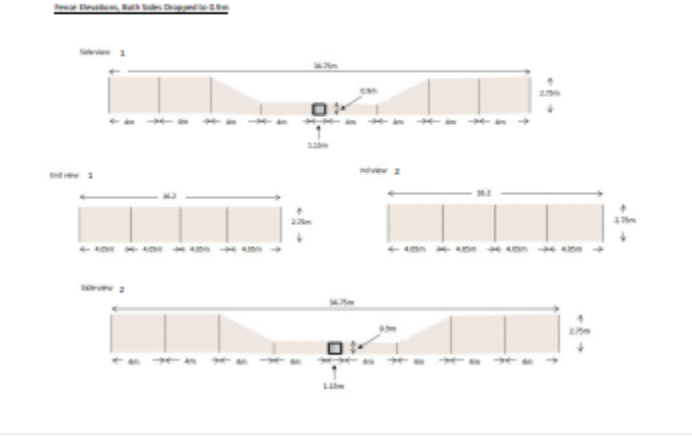
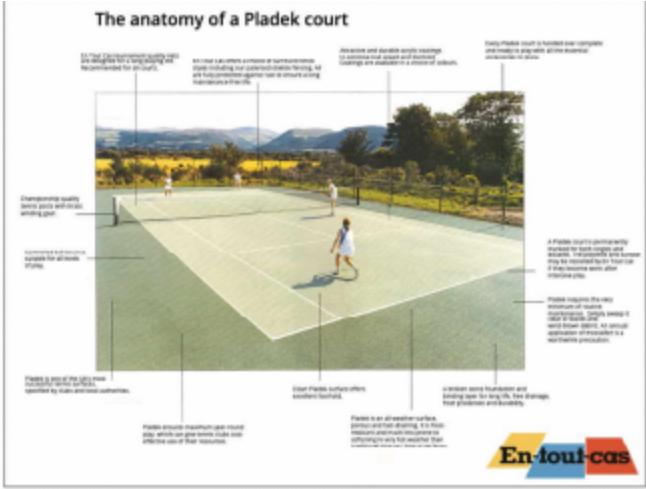
01	0001/0004	Revised Planning Note	01
02	0002/0004	Revised Planning Note	01
03	0003/0004	Design Update	01
04		Notes	01
Scale: 1:200 @ A1			
GB Serial Number: 102150			
<b>YIANGOU</b> <small>INCORPORATED IN THE UNITED KINGDOM OF GREAT BRITAIN AND NORTHERN IRELAND</small>			
Project Address	Santal Grove, Mill Lane, Chalfont St Giles, Bucks		
Project Description	Revised Planning Conditions and New Conditions		
Drawing Title	Proposed Site Elevations 3		
Drawing No.	2682-0122	Rev.	0

## Proposed Site Elevations

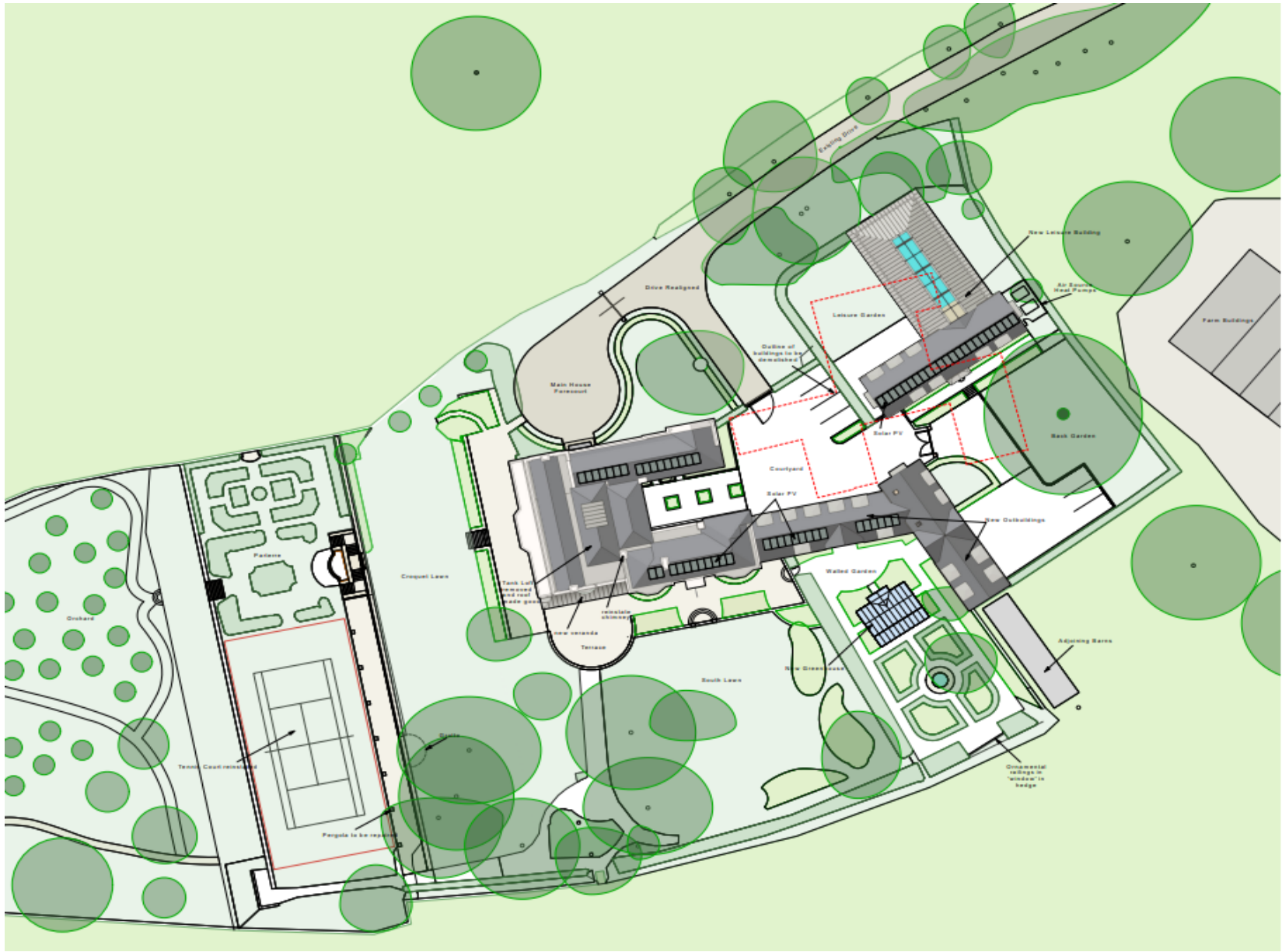


Proposed Garage/Store Outbuilding Elevations





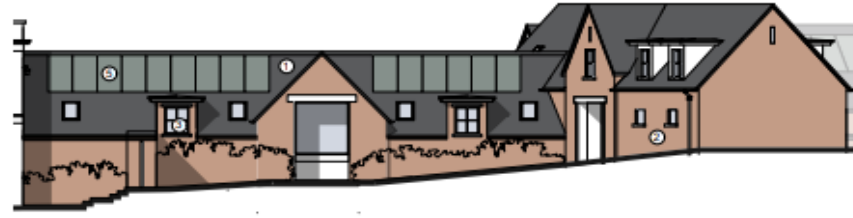
Proposed Tennis Court and Greenhouse



Original Proposed Site Layout – Sept 2023



North Elevation/ Section B-B



South Elevation/ Section C-C



East Elevation/ Section G-G



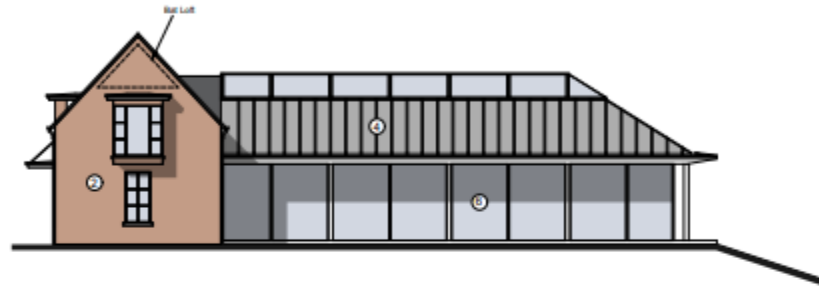
West Elevation/ Section F-F

Original Proposed Extension Elevations – Sept 2023





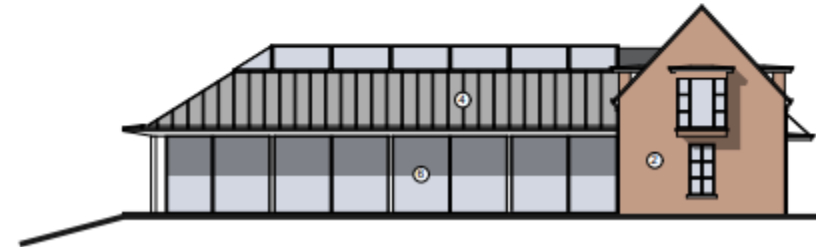
North Elevation/ Section A-A



East Elevation/ Section G-G

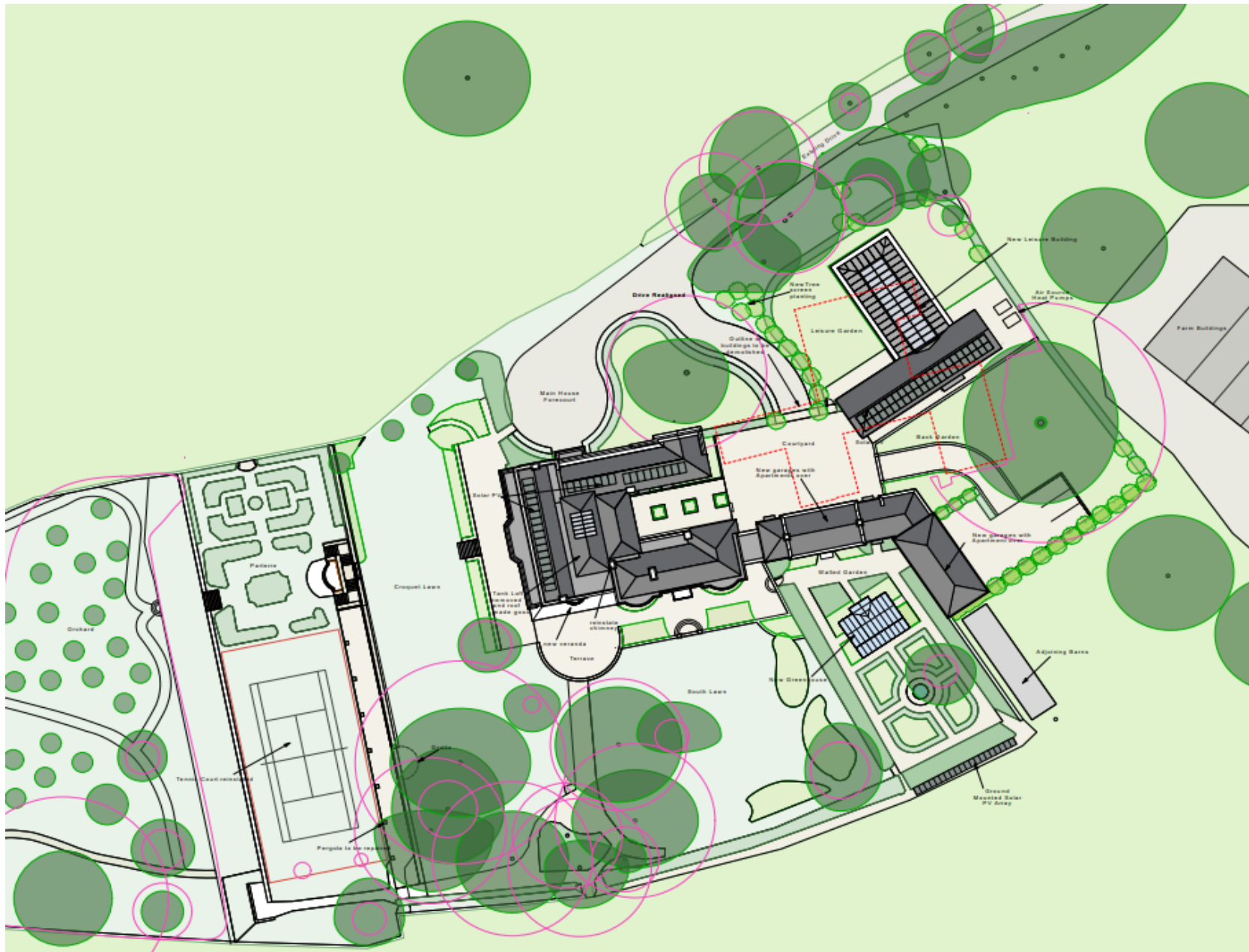


South Elevation/ Section J-J



West Elevation/ Section F-F

Original Proposed Leisure Building Elevations – Sept 2023



Revised Proposed Site Layout – April 2024



South Elevation/ Section C-C

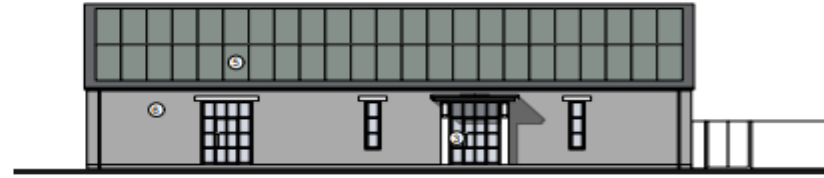


North Elevation/ Section B-B

Revised Proposed Extension Elevations – April 2024



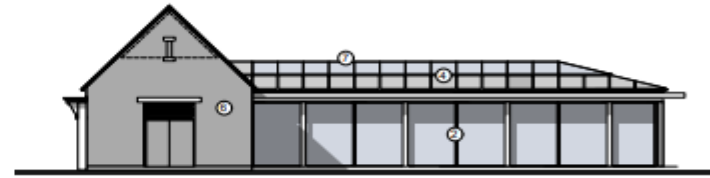
South-West Elevation F-F



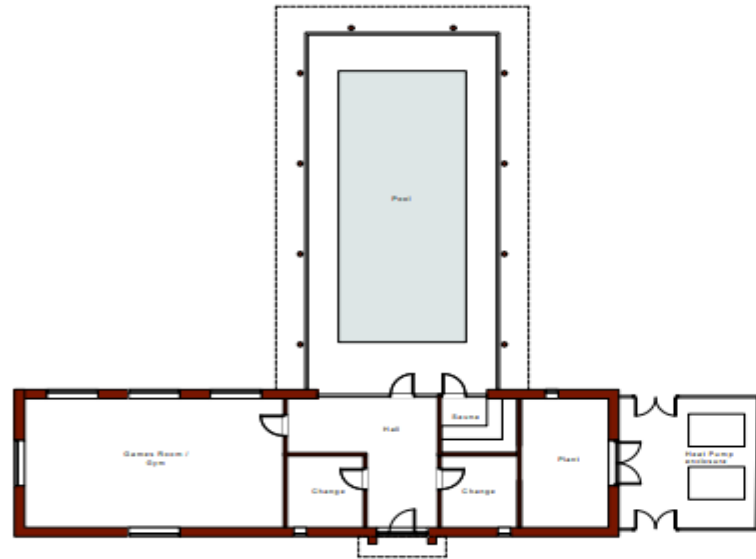
South-East Elevation J-J



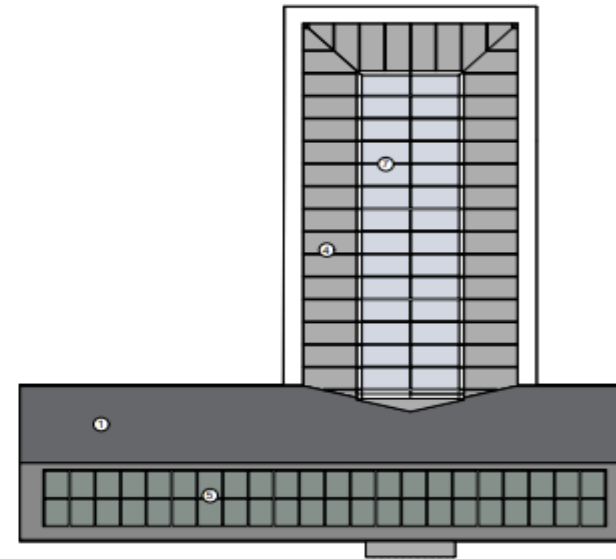
North-West Elevation A-A



North-East Elevation G-G



Ground Floor Plan



Roof Plan

## Revised Proposed Leisure Building Elevations – April 2024



# Key Planning Matters/Planning Balance

- **Principle of change of use to single dwelling and erection of 5no. holiday lets – Policy SD10 of JCS**
- **Impact on significance of designated heritage assets**
  - Principle of demolition of curtilage listed buildings
  - Design, scale and layout of proposed development
- **Traffic/Highway Safety**
- **Landscaping, Ecology and Biodiversity Net Gain**
- **Impact on TPO trees**
- **Drainage and Flood risk**
- **Impact on Amenity of Neighbouring Land Users**
- **Sustainability/Renewable Energy**

## Recommendation – Refuse

### **23/01424/FUL&LBC**

1. By virtue of their overall size, design, scale, massing and layout, the new build elements of the proposals are not considered to be subservient in scale or appearance to the principal listed building and compete visually with it. As such, their cumulative impact would harm the setting of the principal listed building, Glenfall House, and thereby its significance. Extent of harm is less than substantial, but there are not considered to be any public benefits that might outweigh this harm.

### **23/01424/FUL**

2. Proposed drainage Strategy of insufficient details and fails to demonstrate principle of sustainable urban drainage.
3. No mitigation for recreational pressure of Beechwoods SAC – S106 not completed

# Recommendation – Refuse

## 23/01424/FUL & LBC

1. Glenfall House, Glenfall Lodge and the Gate Piers, Gates and Walls to Glenfall Lodge are all Grade II listed. The gardens of Glenfall House are also a Grade II listed registered park and garden. Overall, Glenfall House, the coach house/stables, the gate piers, gates and walls to Glenfall Lodge, in combination create a strong group value. The site is located outside of the Principal Urban Area of Cheltenham (PUA) and wholly within the Cotswolds National Landscape (AONB).

Sections 66 and 16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require the local planning authority, when considering whether to grant planning permission for development that affects a listed building or its setting, to have special regard to the desirability of preserving the building or its setting.

The proposed two storey extension, which adopts a continuous S shaped footprint, extends approximately 74 metres in continuous length and some 41 metres in length north/south with a maximum height of approximately 8.5 metres. The proposed detached garage/store outbuilding is located in close proximity to the rear, south elevation of the extension and has a footprint of 75 sq. metres and height of 5.2 metres. By virtue of their overall size, design, scale, massing and layout, these elements of the proposals are not considered to be subservient in scale or appearance to the principal listed building and compete visually with it. As such, their cumulative impact would harm the setting of the principal listed building, Glenfall House, and thereby its significance.

The proposed development is not considered to sustain the designated heritage assets and causes harm to their significance. Having regard to paragraph 208 of the NPPF, the extent of harm is considered to be less than substantial, but there are not considered to be any meaningful public benefits that might outweigh this harm.

The proposed development is therefore contrary to Policy D1 of the Cheltenham Plan (2020), Policies SD4 and SD8 of the Joint Core Strategy (2017), Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Section 16 of the National Planning Policy Framework (2023) and the Historic Environment Good Practice Advice (note 2).

# Recommendation – Refuse

## **23/01424/FUL**

2. The proposed surface water drainage strategy is insufficient for the type and scale of development proposed. The proposals do not therefore adhere to the design guides of the Non-Statutory Technical Standards for Sustainable Drainage and the CIRCA SuDS Manual.

The proposed development is therefore contrary to adopted policy INF2 of the Joint Core Strategy (2017) and Section 14 of the NPPF.

3. The proposed development, by virtue of resulting in a net increase in dwellings, would result in an adverse effect on the integrity of the Cotswold Beechwoods SAC; however, no mitigation is proposed to address the impacts of the proposal on the SAC. Without appropriate mitigation, the proposed development is likely to have a significant effect on the Cotswold Beechwoods SAC through increased recreational pressure.

The proposed development is therefore contrary to adopted policy BG1 of the Cheltenham Plan (2020) and the aims of The Conservation of Habitats and Species Regulations 2017.